



building inspection service, inc.

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CONFIDENTIAL INSPECTION REPORT



Property Inspected

Address

Address

Requested By:

Client

Client Address

Client Address

Style of Building:

Single Family

Age of Building:

Approximately 80+Years

Date/Time of Inspection:

Date / Time

Duration of Inspection:

4 hours 30 minutes

Weather:

Raining / 69° F

Client Present:

Yes

Attorney:

Attorney Name

Inspector:

Willy C. Dittmar

QUALIFICATIONS

State of New Jersey Home Inspector License # 24GI00027100

State of New Jersey Licensed Building Inspector R.C.S. #001161

State of New Jersey Radon Measurement Technician License #MET10048

State of New Jersey Licensed Commercial 7A, 7B Exterminator #59293

American Society of Home Inspectors (ASHI) Member #2024

THIS REPORT RELATES TO CONDITIONS EXISTING AT THE TIME OF THE INSPECTION

1. ROOF

All roof areas are visually inspected from either the ground, the ground with binoculars, from a ladder at the roof eaves or from the roof when walked on, providing the inspector or the roofing material is not put at risk. Steep roofs, roofs that are heat cupped, heat blistered or that have some other deteriorated condition, as well as roof covering materials that are slate, cement asbestos or tile are not walked on. Roofs can not be walked on when weather conditions are not permitting such as rain, snow or icy conditions. Snow and icy conditions may also limit and/or prevent the roof covering from being inspected. Roofs that are beyond the view of the inspector and therefore can not be inspected are listed as such and should be inspected by a roofing contractor with the proper equipment prior to closing. Solar heating equipment, lightning arresters, satellite dishes and other antennae are not inspected and should not be considered as part of this report.

The roof was of gambrel, mansard and sloped style of construction.

As viewed from the ground with binoculars and the roof when walked on the composition asphalt shingle roofing material was in overall serviceable condition for its age, however, defects were observed that will require correction.

The roof covering material was approximately 7 to 12 years old with approximately 10 years of useful life remaining provided all of the defects outlined in each of the Roof sections of this report are immediately corrected and the roofing material is properly maintained. The estimated useful life expectancy for this type of roofing material is 25 years provided it is properly maintained.

Defects

The course of asphalt shingles below the front second floor dormer was poorly attached and was beginning to slip downward causing them to buckle. Minor repairs are recommended. See photos 3 and 4.

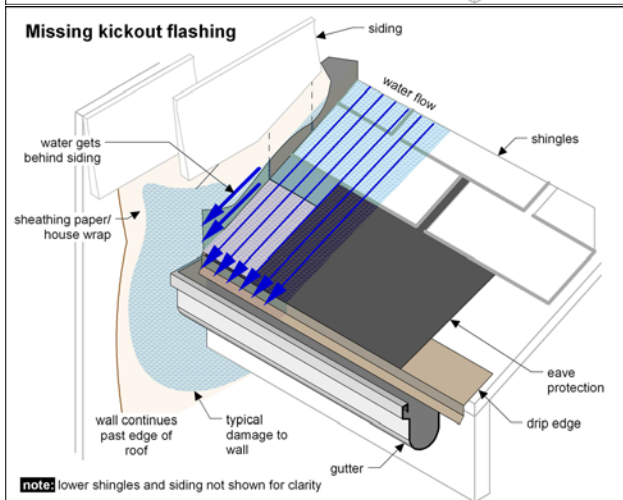
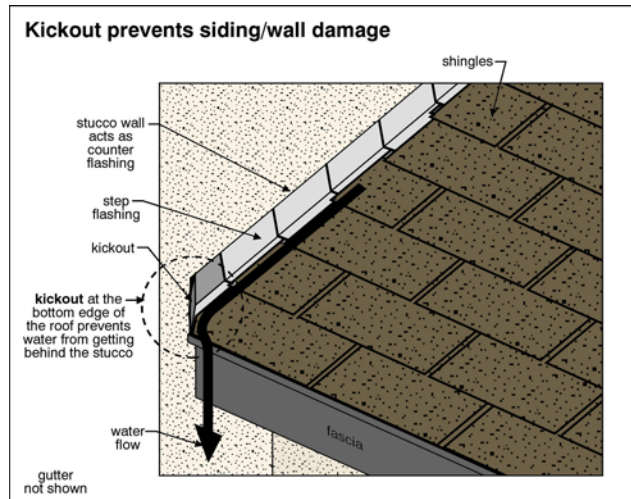
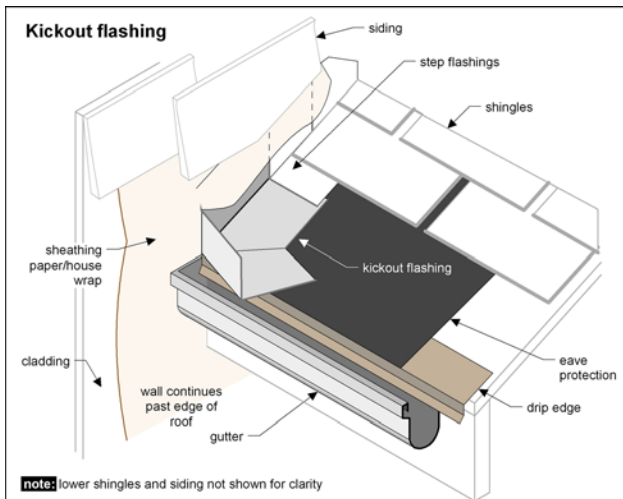
See the Ventilation section of the Roof section of this report for defects with the ventilation of the roof, which will affect its life expectancy and help to prevent ice dam leakage and mold from occurring.

See the Flashing section on the Roof section of this report for defects with the roof's flashing which will affect its life expectancy and help to prevent leakage from occurring.

FLASHINGS

Lifting flashing was noted around the chimney, sewer vent pipes and skylights. Repairs to the flashing material will be required to help prevent water and insect entry from occurring. See photos 31 and 33 through 37.

There were no kickout / diverters installed at the roof / wall intersections at the right and left sides of the family room chimney. Accumulating water runoff should be directed out and away from the building. Roof-to-wall flashing areas require a kickout / diverter at the bottom termination of the flashing to insure water is directed to the outside of the wall surfaces. This will help to prevent internal as well as external wall damage from occurring. The installation of kickout / diverters will be required. Obtaining cost estimates for their installation prior to closing is recommended. See photos 19 and 20 and the illustrations below.



VENTILATION

Minimal roof/attic ventilation was noted. Improvement of the ventilation inside the attic is recommended. Although the attic ventilation met the construction standards when this building was new, it does not comply with the current standards for adequate ventilation. This condition can be improved by installing or adding soffit vents. The improved ventilation will release moisture and lower the temperature in the attic, which will prolong the life of the roofing material, help to prevent ice damming from occurring, help to prevent the roof sheathing and rafters from molding or rotting, and help to prevent thermal stress cracking of fiberglass roofing material from occurring.

The front first floor soffit above the garage entrance was incorrectly vented. The floor of the master bedroom is above this area so no venting is required. It may also cause the floor in this area to be cold. See photo 2.

2. GUTTERS & LEADERS

The purpose of the gutters and leaders/downspouts is to collect water draining from the roof and to direct it away from the foundation of the building. The guttering system helps to prevent: water entry into the interior of the building; water and freeze thaw cycle damage to the foundation; damage to siding materials; damage to shrubbery; and damage to soil around the perimeter of the building. For a gutter and leader system to function properly it must be maintained. Debris from trees can clog gutters both in the Spring and Fall seasons. Buds and pollen sacs must be cleaned in the Spring after the leaves have fully developed on surrounding trees. The gutters must again be cleaned in the fall after most of the leaves have fallen from the trees. Snow and ice tend to build up inside gutters, which can pull them away from a building and cause them to lose their pitch. Flushing the gutters with a garden hose is helpful in removing small debris as well as allowing you to observe how the water is draining. Gutters should not retain any water.

GUTTERS

As viewed from the ground with binoculars and the roof when walked on the aluminum gutters were in overall serviceable condition.

Defects

The gutters on the rear second floor were clogged. Cleaning and caulking of the gutters will be required to prevent water entry into the building from occurring.

LEADERS

The aluminum leaders were in overall serviceable condition with defects noted that will require correction.

Defects

It is recommended that the front gutter drain into the garage gutter and then into the underground drain pipe rather than onto the driveway. It is also recommended that the rear second floor right side downspout drain into the right side underground drain pipe rather than onto the rear first floor roof. Repairs will be required. Obtaining cost estimates for any repairs or replacement will be required prior to closing. See photos 27, 29 and 45.

The leader on the front right side and on the rear right side was undersized for the volume of roof runoff. The installation of a commercially sized roof leader 3.5-inches by 5.5-inches will be required to properly discharge roof runoff.

The rear first floor leaders drain incorrectly onto the patio. This is causing the brick patio to spall and deteriorate. Repairs will be required. See photos 14 through 16.

The left side rear leader was extended across the left side walk. This is a trip hazard. Repairs will be required. Obtaining cost estimates for any repairs or replacement will be required prior to closing. See photo 11.

3. SIDING

All exterior wall coverings, flashings, trim, eaves, soffits and fascias that are accessible from ground level are inspected. Because flashings are sometimes concealed behind the siding material, are painted over, or are too high to be properly observed from the ground, even with the use of binoculars, it may be desirable and prudent to have a painter or siding contractor inspect these areas in more detail. Holes not visible from the ground can allow insect, water and animal entry to occur. Buildings painted prior to 1978 may have been painted with lead based paints. Additional testing for the presence of lead based paints may be desired prior to closing. DICO Building Inspection Service, Inc. does not test for the presence of lead.

The vinyl siding on the building was in overall serviceable condition. However, some dented areas were noted. Repairs may be desired. See photo 45.

Some loose siding was noted above the right side steps. Minor repairs are recommended. See photo 30.

Advisory Recommendations and Observations

Washing of the siding will give a fresh appearance to the building.

Sealing/caulking of gaps around any pipes, wires, faucets or vents going through the exterior of the building will be required to prevent insect, rodent and water entry as well as to prevent energy loss.

4. WINDOWS

A representative number of windows are inspected from both the exterior and interior of the building. This section of the report describes the style, condition, defects and observations/recommendations of the exterior portion of the windows only. The interior portion of the windows' defects only are listed in each of the interior rooms section of this report. Storm windows, screens, awnings and other similar seasonal accessories are not required to be inspected by the New Jersey Licensing Law. However, the installation of storm windows is required, as per the ASHI Standards, to be inspected and therefore reported on if absent, missing parts or if they have broken glass.

The insulated glass windows in the building were in overall serviceable condition.

Advisory Recommendations and Observations

A screen was missing on front and two screens were missing on the left with replacement required to prevent insects from entering the building. See photos 8 through 10.

5. STEPS & WALKWAYS

Because these components are located on the exterior of the building, their maintenance is often overlooked by the owners. They are inspected and reported on for safety reasons. It is recommended that the defects and recommendations listed below be corrected because of safety concerns.

The front masonry street sidewalk was in overall serviceable condition.

The front masonry walkway was in overall serviceable condition.

The left masonry walkway was in overall serviceable condition with defects noted that will require correction.

The front masonry steps were in overall serviceable condition with defects noted that will require correction.

The rear masonry steps were in overall serviceable condition. See photo 26.

Defects

Left Masonry Walkway: The walk has settled toward the building causing water to pool and drain against the foundation. Sealing along the foundation or re-pitching of the walk will be required to help prevent water entry into the building from occurring. See photos 7 and 11.

Front Masonry Steps: Both of the guardrail posts were rotted. Their replacement will be required. See photos 5 and 6.

6. ENTRY DOORS

Entry doors are inspected for their overall operation and condition. Weather seals are checked and deterioration is reported on. Doors are subject to changes in weather conditions, therefore doors, which operated perfectly one day, may be sticking or difficult to operate another day. Locking mechanisms and door hardware are not inspected and should not be considered as part of the inspection report. If an inspection of door locking mechanisms and hardware is desired contacting a lock smith prior to closing will be required.

The front entry door was in overall serviceable condition.

The left entry door was in overall serviceable condition.

The rear kitchen entry door was in overall serviceable condition with defects noted that will require correction.

The rear right side entry door was in overall serviceable condition.

Defects

The rear kitchen entry door screen was damaged. Repair or replacement will be required to prevent insect entry from occurring.

7. CHIMNEYS

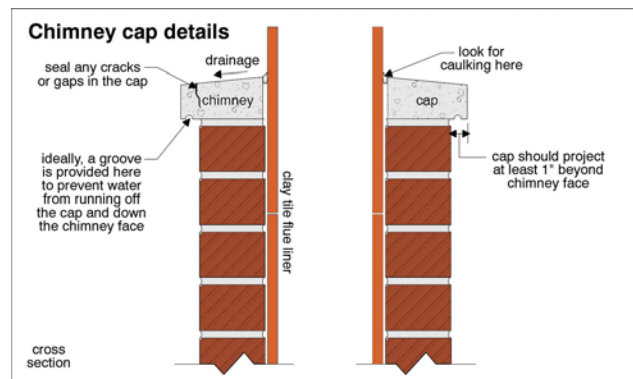
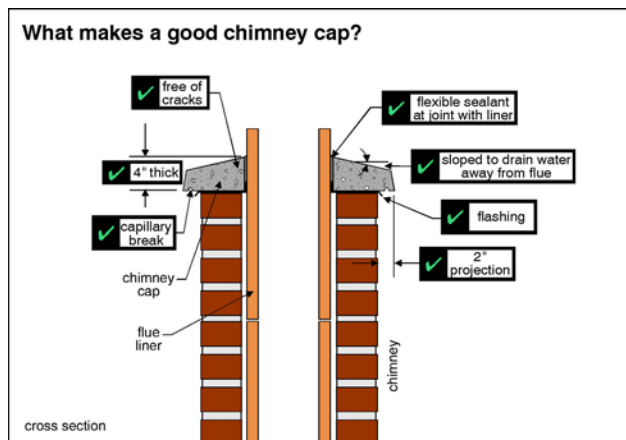
All Chimney exteriors are visually inspected from either the ground, the ground with binoculars, from a ladder at the roof eaves, from the roof when walked on and/or from the attic. Draft characteristics, fire screens, doors, seals and gaskets are not inspected. The interior flues of most chimneys cannot be inspected because of their construction and lack of visibility. Buildings older than 40 years should have a Level II video camera internal inspection of the chimney and their flues inspected by a licensed chimney sweep to reveal any hidden defects that may exist. Buildings over 60 years old may not have any flue liners installed. This is a safety concern, which would require the installation of a new flue liner. A Level II video camera inspection of chimneys older than 60 years by a licensed chimney sweep should therefore be conducted prior to closing.

MAIN DWELLING

As viewed from the ground with binoculars and the roof when walked on the masonry chimney was in overall serviceable condition with defects noted that will require correction.

Defects

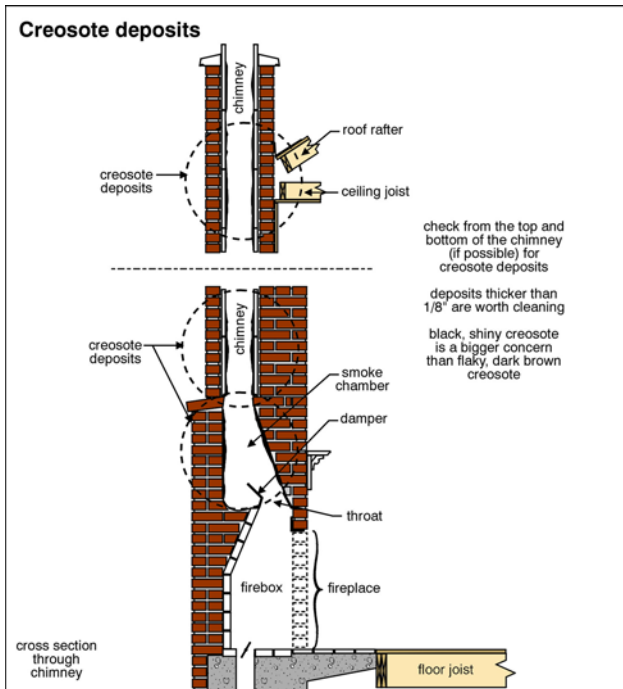
The chimney crown/wash was cracked, loose and deteriorated on the rear family room chimney with its replacement required to prevent water damage to the interior of the building and to the chimney. See the illustrations below.



The roofing flashing around the chimney was loose/lifted and there was no kick out flashing installed on the sides of the family room chimney. Repairs will be required. See photos 31, 32 and 35.

Advisory Recommendations and Observations

A creosote build up was noted inside the interior of the chimney. This is a fire safety concern. It is required that the creosote be cleaned by a licensed chimney sweep prior to using the fireplace and thereafter depending upon use, to prevent chimney fires from occurring. See the illustration below.



CABANA

As viewed from the ground and from the inside of the cabana the insulated metal chimney was defective.

Defects

The chimney and the wood stove were too close to combustible materials on the upper wall. The brick was not vented. Checking with the manufacturer's installation requirements for this wood stove will be required for fire safety and fire insurance reasons. See photos 38 through 40.

Advisory Recommendations and Observations

A further inspection of the chimney and wood stove by a licensed chimney sweep is required to further inspect the chimney as well as the wall behind the wood stove and to give cost estimates for any required repairs. The wood stove should not be used until it is inspected for safety reasons.

8. EXTERIOR FOUNDATION

The foundation of the building is designed to support the load of the building including its contents. The foundation is usually constructed of masonry although other material such as wood can also be used. The foundation transmits the load of the building downward to the footing. The footing must be below the frost line. It transmits and spreads the load of the building to the soil under the footing. Since the foundation is rigid, normal stress settling cracks usually develop. Because most of the foundation is located under the ground, only the portion above the ground on the exterior and only the visible portion inside the basement can be inspected and reported on. Soil conditions and the stability of the soil to support the building are beyond the scope of this inspection and can only be performed by a licensed professional engineer. Structural components are probed where deterioration is suspected unless such probing would damage any finished structure. Hydrostatic loading (water pressure) against the foundation walls of a building can have detrimental effects. Attention to the recommendations given in the Property Drainage and Gutters and Leaders sections of this report will help to prevent and/or correct the negative effect of hydrostatic loading.

The poured concrete and masonry block exterior foundation is in overall serviceable condition.

9. PROPERTY DRAINAGE

The lawn and landscaping of this property were not inspected and should therefore not be considered as part of this inspection report. If an inspection of the lawn and landscaping is desired, hiring a trained horticultural specialist or landscaper will be required. Vegetation, grading, drainage and retaining walls with respect to their immediate detrimental effect on the condition of the building are inspected and reported on. Fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, and/or erosion control and earth stabilization are not inspected and should not be considered as part of this report. If an inspection of these items is desired, hiring a professional in their field will be required. The property should slope away from all sides of the building and be allowed to drain naturally off the property. Water leakage through the building foundation is caused in large part by poor property drainage or from the failure of maintaining drainage systems such as gutters, leaders and proper grading of soil around the exterior perimeter of the building. Current building practice is to pitch the soil 1-inch per foot 8-feet to 12-feet away from the building. In other words, the soil should be 8-inches higher at the foundation, completely around the perimeter of the building, than it is 8-feet to 12-feet away from the building. Water is an extremely destructive force. It can find its way through the smallest of cracks in a foundation, therefore proper grading as well as maintenance of gutters and leaders is very important. If defects in the property drainage are mentioned, they should immediately be corrected to help prevent water entry into the building from occurring. The lawn sprinkler system, if installed, was not inspected and should not be considered as part of the inspection report. If an inspection of the lawn sprinkler system is required, contacting a lawn sprinkler company, gardener, or having the building owner explain the use of the sprinkler system and testing of the sprinkler system is recommended.

The topography of the land pitched from the front of the dwelling toward the front street, from the left side of the dwelling toward the left yard and front street, from the right side of the dwelling toward the rear and right side yards and from the rear of the dwelling toward the rear yard.

Defects

Low property, where water can pond or where a saturated soil condition is visible, was noted on the rear of the patio and rear right side yard. Re-grading is recommended to help prevent water seepage into the interior of the building. Obtaining cost estimates for any repairs will be required prior to closing. See photos 16, 21 and 22.

Advisory Recommendations and Observations

It is recommended that the suggestions given in the Gutters and Leaders section of this report be followed to help prevent water entry into the building from occurring.

There was a lawn sprinkler system installed. It was not tested. Testing of the sprinkler system by the purchaser prior to closing is recommended. A back flow preventer was not installed. It will be required that a back flow preventer be installed to prevent ground water contamination of the domestic water supply.

10. DECKS, PATIOS, BALCONIES

Because of safety concerns, decks, porches and balconies should be inspected frequently. We will inspect for and report on any safety concerns however, rot, weathering and loose guardrails can occur over time, which will compromise the safety of the deck, porch and/or balcony. If any defects were found during this inspection, those defects should immediately be corrected and for safety reasons, the deck, porch or balcony should not be used until these repairs have been conducted.

The rear brick patio was in poor condition.

The rear cabana wood deck was in overall serviceable condition. The wood framing below the deck was not visible because the deck was either constructed too close to the ground or because the perimeter was covered with a material that prevented the framing of the deck from being observed. Therefore, an inspection of the framing system, footings, flashings, the slope of the soil grade under the deck, and of the ledger board to see if it was properly bolted to the building could not be performed. If an inspection of these items is desired, removal of at least two rows of the flooring material close to the building will be required. A re-inspection fee will apply. If permits were obtained for the deck's construction, the local building inspector would have inspected the rough framing prior to the installation of the deck's flooring material.

Defects

The rear brick patio has settled toward the building causing surface water to drain against the foundation. Replacement and pitching of the patio so that surface water drains away from the building will be required to help prevent water entry into the building from occurring. The roof drains were discharging onto its surface, it was ponding water and has deteriorated. Its replacement in the near future will be required. See photos 14, 16, and 21 through 26.

11. FENCING

The fence is evaluated for its overall condition and not its location or ownership. Evaluating the property survey will be required to insure that the fence was constructed on this property. If a pool has or is to be installed, contacting the local building department is recommended to insure that the fence meets the present code requirements for a pool.

The vinyl fence on the rear was in overall serviceable condition with defects noted that will require correction.

Defects

The gates were in poor condition.

12. DRIVEWAY / PARKING AREA

The driveway/parking area is visually inspected for its overall serviceability. The depth of the gravel below the surface of the driveway and the thickness of the surfacing material is not visible and is therefore unknown. Driveways should be sloped away from garage openings. If they slope into the garage opening, a drainage swale or catch basin should exist so that surface water is drained away from the interior of the building. Maintenance of these drains to insure that they are free flowing and functional is the responsibility of the building owner. If a more in depth inspection of the driveway/parking area is desired, a paving company specializing in driveway installation and repair should be contacted prior to closing.

The paverstone driveway was in overall serviceable condition with defects noted that will require correction.

Defects

Settled areas of the driveway were noted. Leveling of the settled areas in the near future will be required. See photos 43, 44 and 46.

13. POOL / HOT TUB

The pool and/or hot tub was not inspected and should not be considered as part of the home inspection report. It is recommended that a local pool or spa company be contacted to inspect the pool/hot tub, insure its operational condition and determine if all electrical connections meet current electrical code standards. Electrical circuits at the poolside/hot tub side require maximum safety considerations. Ground fault circuit interrupts are recommended on all pool/hot tub outlets and circuits. Extension type cords are not permitted in the pool/hot tub area. Perimeter pool fencing must comply with the current standards for safety reasons. It is recommended that the homebuyer request from the seller, the Certificate of Inspection for the pool/ hot tub, from the local building department if available.

The concrete 'in ground' pool was located in the rear yard. The pool was covered at the time of the inspection.

DICO Building Inspection Service, Inc. does not inspect pools; therefore, the pool was not inspected and should not be considered as part of this inspection report. If a pool inspection is desired, contacting a local pool inspection company will be required.

14. GARAGE

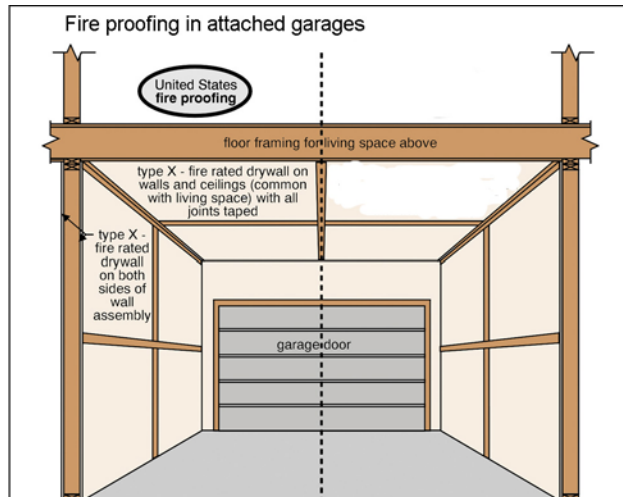
Both attached and/or detached garages are inspected. If roofing problems exist they will be written up in the roofing section of the report. Powered/automatic garage door openers are inspected for their proper operation and to insure that the safety stops are working. Safety stops are adjustable and should be frequently tested by the owner for safety reasons. Remote control devices are not tested and should not be considered as part of this report. These devices should be obtained from the sellers prior to closing and tested by the buyers for operation.

The two car built-in garage was in overall serviceable condition with defects noted that will require correction.

Defects

The fire collar was missing around the plastic piping where it passes through the fire wall. This is a safety concern with repairs required. See photo 49.

Openings in the garage walls and ceiling were noted. This is a fire safety concern. Covering of the openings with 1/2-inch fire 'X' drywall is required by current building practices for fire safety reasons. See photos 47 and 48 and the illustration below.



Advisory Recommendations and Observations

The garage door openers were operated and the safety stops were tested. They were found to be in serviceable condition at the time of the inspection. Periodic testing of the safety stops is recommended for safety reasons. Adjustments to the up and down force safety settings are sometimes required.

A whole house vacuum cleaner was installed in the garage. It was operational at the time of the inspection, however, the vacuum equipment and suction ports that were located in individual rooms were not tested. Further testing of this system by the purchaser or by the vacuum company, prior to closing, is recommended.

15. BASEMENT

The basement is a below soil grade area, therefore it is subject to moisture, insect infestations, as well as soil and hydrostatic pressures. Care should be taken to insure that the soil around the exterior perimeter of the building is graded away from the foundation and that surface water and water runoff from the roof is directed to discharge away from the foundation. Hydrostatic pressure (water pressure) from improper grading and/or from ground water can easily damage a foundation and flood the basement and/or below grade areas. Parts of the foundation may not be visible for inspection due to storage, because the basement may be finished, and/or there may be plant growth around or on the exterior foundation walls. We cannot inspect what we cannot see. This includes subterranean water conditions which can occur at any time without past history of this event being visible to an inspector. If an inspection of foundation walls or framing systems that have permanent coverings over them is desired, removal of the covering materials would be required. Inspections through the use of a tool called a Bora-scope that uses fiber optics may be conducted. This tool requires that 1/4-inch diameter holes be drilled through the permanent covering materials but does not require their removal. If these in-depth inspections are desired, than contacting our company prior to closing will be required. Written permission from the owner of the building to drill these inspection holes into the walls of the building will be required. This type of inspection is beyond the scope of a normal home inspection, therefore, additional inspection fees will apply.

The visible, floor joists, girders and lally columns were in overall serviceable condition.

The visible concrete foundation was in overall serviceable condition.

The 2-inch by 8-inch floor joists were spaced 16 inches on center.

Approximately eighty percent of the basement walls/ceiling were covered with drywall, therefore, a thorough inspection of the framing system, foundation walls, electrical and plumbing systems was limited. If a more thorough inspection of these systems is desired, removal of the walls/ceiling will be required. A re-inspection fee will apply.

The basement was partially finished. See the Interior Rooms section of this report for the inspection of the finished area in the basement.

Defects

There was no handrail on the basement steps. Its installation will be required for safety reasons.

The basement stairs were in poor condition and are a safety trip hazard. The step rise/height was greater than 8 1/4-inches, which is creating a safety trip hazard. Their repair or replacement will be required for safety reasons. See photo 50.

Evidence of recurring water entry into the basement was noted by water on the left side wall below the circuit breaker box.

Evidence of recurring water entry into the basement was noted by water stains on the wall framing in the left side of the basement at the bottom of the basement steps.

When tested with a moisture meter, this area tested 17.2 percent moisture content indicating that an active leak exists. See photos 51 and 57.

Foam Plastic Panels were installed on the walls and ceiling of the wine room. Foam Plastic Panels cannot be used in construction unless they are covered with fireproof materials such as drywall. When foam plastic burns it can give off deadly polyvinyl chloride gas which if inhaled can constrict your bronchial tubes making resuscitation difficult or impossible. Therefore, removal and replacement of the foam panels with another less dangerous material or covering the exposed areas with drywall is recommended. See photos 60 through 62.

Advisory Recommendations and Observations

The operation of the sump pump was checked at the time of the inspection. The sump pump did turn on and discharged any water that was inside the sump pump pit. This is not a guarantee or warranty that the sump pump can remove all of the water entering the basement during a storm or heavy rain. A further inspection of this system by a basement waterproofing company therefore may be desired. It is also recommended that homeowner's insurance be obtained for ground water intrusion should the sump pump fail and the basement flood. Normal homeowner's insurance policies do not cover losses caused by ground water. See photo 54.

Draft stopping of all spaces in the interior and exterior walls of this balloon framed building is recommended for fire safety reasons. This can be accomplished by stuffing fiberglass insulation, without any paper or foil backing, or fire attenuation blanket like 'Thermafiber' (www.thermafiber.com), into all openings. If possible, these openings can be covered with 1/2-inch Fire X drywall to further draft stop the building.

White drywall was used in the basement. White drywall is plaster, which is hydroscopic (absorbs moisture) and is paper faced. This combination of products is the perfect median for supporting mold growth. It is not recommended for use in below grade areas because it can support mold growth. Green Board and Dens Armor are products that are recommended for damp locations. Keeping the basement dry and well ventilated as well as the use of a dehumidifier during summer months is recommended to prevent the development of mold. See the Environmental section of this report for additional information.

There was no insulation installed in the exterior perimeter rim joist/box beam area. This is a high energy loss area. The installation of 6 1/2-inch to 8 1/2-inch fiberglass insulation will help to reduce energy loss and make the building more comfortable.

16. REAR ADDITION CRAWL SPACE

The crawl space is subject to moisture, insect infestations, water pressures, and soil pressures. Care should be taken to insure that soil is graded away from the foundation and the roof runoff is directed to discharge away from the foundation. Hydrostatic pressure/water pressure from improper grading or from ground water can easily damage a foundation. Parts of the foundation may not be visible for inspection due to storage inside the crawl space, insulation installed in between the floor framing, and/or plant growth on or around the exterior of the foundation. We cannot inspect what we cannot see. Humidity control in crawl spaces is very important to prevent rot and mold from occurring. DICO Building Inspection Service, Inc. does not inspect for mold. If a mold inspection is desired, contacting a company that specializes in environmental testing will be required prior to closing.

The visible sill plates and floor joists were in overall serviceable condition.

The visible masonry block foundation was in overall serviceable condition.

The crawl space was entered from opening in the rear of the basement.

The 2-inch by 10-inch floor joists were spaced 16 inches on center.

The entire crawl space ceiling was covered with insulation, therefore, a thorough inspection of the framing system and any electrical, heating or plumbing systems that are covered could not be conducted. If a more thorough inspection of these systems is desired, removal of the covering material would be required. A re-inspection fee will apply.

Defects

The vapor barrier on the insulation installed in between the floor framing of the crawl space area was installed upside down. The vapor barrier should face the warm side of the building. Repairs are recommended to prevent condensation problems from occurring. See photos 68 through 72 and 76.

Some of the insulation installed in between the floor framing has fallen down. Its replacement will be required in order to conserve energy and prevent drafts. See photos 64 and 75.

The clothes dryer vent pipe was disconnected and clogged. Its repair and cleaning will be required. See photo 67.

17. CENTRAL HEATING SYSTEM

Inspections of heating systems are limited due to weather conditions. During the summer months, or when the temperature is above 80°F, heating systems cannot be fully evaluated. During winter weather conditions heating systems may fail to operate properly leaving areas of the building either too cold or too hot. We cannot evaluate this problem during the summer months. It is beyond the scope of our home inspection to determine if heating systems will function properly during extreme winter weather unless they are tested during those extreme weather conditions. The installed heating equipment and energy sources are inspected without determining the correctness of its installation, the heat supply adequacy or distribution balance, without operating automatic safety controls and when weather conditions or other circumstances may cause damage to the heating system. Inspections exclude humidifiers, electronic air filters and solar heating systems. A further inspection by a heating/air conditioning contractor or a heating engineer, who would perform heat loss calculations for each room in the building and conduct air balancing calculations for each room, may therefore be desired prior to closing. Thermostats are not inspected or tested for accuracy and clock mechanisms are not inspected. Air quality is not tested or inspected for. In forced air heating and air conditioning systems potential contaminants can sometimes be found inside duct work. These contaminants may affect people differently just as allergies to pets affect people differently. Testing of the air quality and/or having the air ducts cleaned is a wise investment in environmental hygiene.

The GWA, gas fired, hot water boiler was a 5 zone heating system with a capacity of 140,000 BTUs. (It is recommended that the local utility company be contacted to obtain a worry free service contract. This is a very worthwhile contract that covers many common heating system repairs as well as cleaning any rust scale from the burners.)

The heating system was in serviceable condition at the time of the inspection.

The age of the heating system is approximately 15 years. The normal service life for this type of heating system is 20 to 25 years. See photo 81.

The heater exchanger material was cast iron.

Heating was supplied to the habitable rooms through baseboards and a radiant piping system.

No evidence of combustible gas leakage was detected when tested with the TIF 8800 combustion gas detector.

Advisory Recommendations and Observations

Water seepage was noted below a shut off valve above one of the B&G Circulation pumps. No repairs are required at this time as discussed. See photo 82.

18. COOLING SYSTEM

Inspections of cooling systems/heat pump systems are limited due to weather conditions. During the winter months, or when the temperature is below 60 degrees F, cooling systems cannot be fully evaluated. During extreme weather conditions cooling systems/heat pump systems may fail to operate properly leaving areas of the building either too cold or too hot. It is beyond the scope of this home inspection to determine if these systems will function properly during extreme conditions. The installed cooling/heat pump equipment is inspected without: determining the correctness of its installation or the cooling/heating adequacy or distribution balance. The interiors of equipment cabinets, the interiors of air handlers, the interiors of ducting systems are not inspected. The compressors/condensing units are not operated when weather conditions or other circumstances may cause damage to these units. A further inspection by a heating/air conditioning contractor or a heating/air conditioning engineer, who would perform heat loss calculations for each room in the building and conduct air balancing calculations for each room may be desired. Only a CFC certified technician is allowed to put gauges on a condenser unit. Electric heating elements inside the air handler are not inspected. An HVAC contractor or a licensed electrician can be hired to test and inspect the heating elements using specialized instruments. These inspections require some disassembly of the system which is beyond the scope of a home inspection. If any further heating or air conditioning inspections are desired or are recommended in our report, they should be conducted prior to closing.

There were two Lux Aire central air conditioners installed. These units had an approximate 3 ton cooling capacity each.

The air conditioner units installed were approximately 7 years old. The average life expectancy of a condenser is 10 to 15 years for a standard condenser and 15 to 20 years for a high quality unit. See photos 12 and 13.

The central air conditioning systems were turned on using the building's thermostatic control and were operational at the time of the inspection. The condensing units' coils and the return air filters should be cleaned. These units were operated using only the normal thermostat controls inside the building. No gauges or other testing devices were used to evaluate the air conditioning system. The efficiency and adequacy to cool all parts of the building are not evaluated and therefore should not be considered as part of the air conditioning system inspection. If a more in-depth evaluation of the air conditioning systems is desired, contacting a heating/air conditioning contractor prior to closing will be required.

Defects

The metal air-conditioning distribution ducts located in the attic were not fully insulated. These metal distribution ducts should be completely insulated to prevent energy loss and to prevent condensation problems from occurring that can damage ceilings. See photos 89 through 91 and 93.

19. DOMESTIC HOT WATER SYSTEM

The domestic hot water heating system (water heater) was inspected to insure that it is operational, that it is properly vented if required, that it is not actively leaking water and that it has a temperature/pressure safety relief valve installed. The temperature/pressure safety relief valves are not tested because of their high probability of leaking after being operated. We do not turn on water heaters that have been turned off for safety reasons. The current thinking is that the water heater temperature should be at least 140 degrees Fahrenheit inside the water heater tank to help kill bacteria. However, if the hot water temperature coming out of the water heater is raised above 120 degrees Fahrenheit then an anti-scald mixing valve should be installed so that the hot water from the outlet pipe of the water heater is

maintained at 120 degrees Fahrenheit. Remember, 135 degrees Fahrenheit is scalding and is dangerous especially for children.

The water heater was a General Electric, gas fired unit with a capacity of 75 gallons.

The water heater was in serviceable condition at the time of the inspection with defects noted that will require correction.

The age of the water heater is approximately 4 years.

Defects

The vent connector was not properly installed. Screws were either missing or not installed in the sheet metal vent connector. Three screws are required in every section of the vent connector. Contacting a licensed plumber for cost estimates on the required repairs will be required prior to closing.

The vent connector was incorrectly pitched to the chimney. This condition is dangerous and can permit spillage of flue gasses into the building. Its repair by a licensed plumber prior to closing will be required. See photo 83.

20. PLUMBING

Due to the buried or hidden condition of most plumbing systems, their inspection is limited. While conducting your inspection we operated all of the plumbing fixtures and have run waste water through the piping system during the limited time of a home inspection. Although this usually allows for the detection of systems already in failure, it may not be enough time to detect a slow leak or a waste pipe that clogs with use or a crack in a pipe or shower floor pan that only leaks after it is in use for some extended amount of time. These conditions are only uncovered by constant use of a system. Interior water supply and distribution systems are inspected for functional water flow and functional drainage, excluding wells, well pumps, well water sample testing or water storage related equipment. The determination of water supply quality or quantity is not inspected nor are water conditioning systems or lawn irrigation systems inspected. The temperature pressure release valve (TPR) installed on the water heaters and boilers are not tested for operation. This is due to their high probability of leaking after being manually operated. Testing of these safety devices is recommended only by a licensed plumber who has the ability to replace the TPR valve if it fails to shut off after being operated. The report will only comment if the TPR valve has not been installed on the water heater or boiler, or if it was improperly installed or if it is actively leaking water. Shut off valves, located in the basement ceiling and below fixtures, are not tested or operated during the inspection. These valves are seldom used and if operated can leak. Further testing by a plumber who could repair these valves should they leak is recommended prior to closing. Automatic safety controls, computerized temperature sensing controls and solar heating system are not tested or inspected.

The domestic water was municipal.

The street to building main water supply pipe was in overall serviceable condition. The visually accessible portion of the main water supply pipe was copper. The main water supply pipe was located in the front of the basement.

The main water shut off valve was tested and was operational.

The copper branch water piping was in overall serviceable condition.

The visible cast iron and polyvinyl chloride (PVC) plastic or a similar plastic piping material waste and soil pipes were in overall serviceable condition.

As represented to us at the time of the inspection the sewage system was municipal.

The fuel shut off was located on front of the basement.

21. ELECTRICAL SYSTEM

The electrical system inspection is merely a visual inspection of the installed wiring, receptacles, and switching devices. The electric power to or inside the building is not turned off or on. We will report on but will not turn on any branch circuits that are found turned off for safety reasons. Tests to determine amperage, impedance or voltage drops, when more than one appliance is used, are not conducted and are beyond the scope of a home inspection. Branch wiring is not inspected to determine how many receptacles and / or switching devices are installed on each individual branch circuit. These types of tests and inspections can only be conducted by a licensed electrician who has the equipment and knowledge to inspect and test for these conditions. A representative number of installed lighting fixtures, switches and receptacles are inspected using normal controls. Remote controlled devices including outdoor lighting, motion controls, low voltage devices and ancillary wiring systems and components not a part of the primary electric power distribution system are not inspected. It should be noted that furniture, storage and fixed appliances such as stoves, refrigerators, freezers, etc... are not moved in order to inspect the receptacles behind them. Low voltage systems, telephone wiring, intercoms, alarm systems, television cables, timers and computer wiring are not inspected and should not be considered as part of this inspection report. Hiring the appropriate trade person to test these systems would be required if desired by the buyer. For your understanding of the wording in this report the: estimated amperage and voltage that is listed in the report is for the total building. It is determined by the size of the service entrance wires as well as the size of the main service disconnect device. The service conductors are the cables used for delivering electrical energy from the utility company to the building being serviced. The service drop wires are overhead cables and service lateral conductors are underground cables.

According to the latest statistics from the National Fire Protection Association (NFPA), electrical distribution was the largest cause of property damage wreaking \$643.2 million in property damage in home structure fires. According to the latest statistics from the US Consumer Product Safety Commission (CPSC), household wiring tied with small appliances as the leading cause of accidental electrocutions associated with consumer products. For this reason, the Electrical Safety Foundation International (ESFI) is urging homeowners to have their homes electrically inspected by a qualified, licensed electrician particularly if they fall into one of the following categories: 1) owner of a home 40 or more years old; 2) owner of a home 10 or more years old that had had major renovation, addition or major new appliance; or 3) new owner of a previously owner home. These and other electrical safety tips are available at the Foundation's web site at www.electrical-safety.org or by phone at 703-841-3229.

The total estimated ampere service to the building is 200 amperes and 125/240 volts. The total estimated ampere service coming into this building is inadequate by today's standards. Replacement of the electrical service will be required.

The service drop conductors were installed overhead and were in overall serviceable condition.

The service entrance conductors were aluminum and were defective.

The electric service had a copper grounding conductor installed. It was defective.

The wiring type was non metallic (Romex) cable and armored (BX) cable.

A Square D branch circuit overload protection was located in the basement. It was defective. The main breaker capacity was 200 amp circuit breaker. It had sixteen 15 amp. 125 volt circuit breakers, thirteen 20 amp. 125 volt circuit breakers, three 30 amp. 240 volt circuit breakers, two 50 amp. 240 volt circuit breakers, one a 90 amp. 240 volt circuit breaker and one 80 amp. 240 volt circuit breaker. See photos 77 and 78.

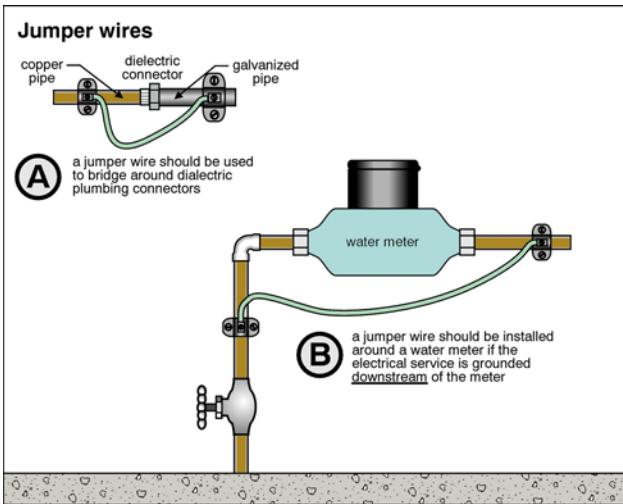
A Square D subpanel was located in the basement laundry room. It was in overall serviceable condition. It had three 15 amp. 125 volt circuit breakers, four 20 amp. 125 volt circuit breakers, two 30 amp. 240 volt circuit breakers, one 50 amp. 240 volt circuit breaker and one 60 amp. 240 volt circuit breaker. See photos 80 and 65.

A Cutler Hammer subpanel was located in the cabana. It was in overall serviceable condition. The main breaker capacity was 30 amp circuit breaker. It had four 15 amp. 125 volt circuit breakers, nine 20 amp. 125 volt circuit breakers and one 30 amp. 240 volt circuit breaker. See photo 42.

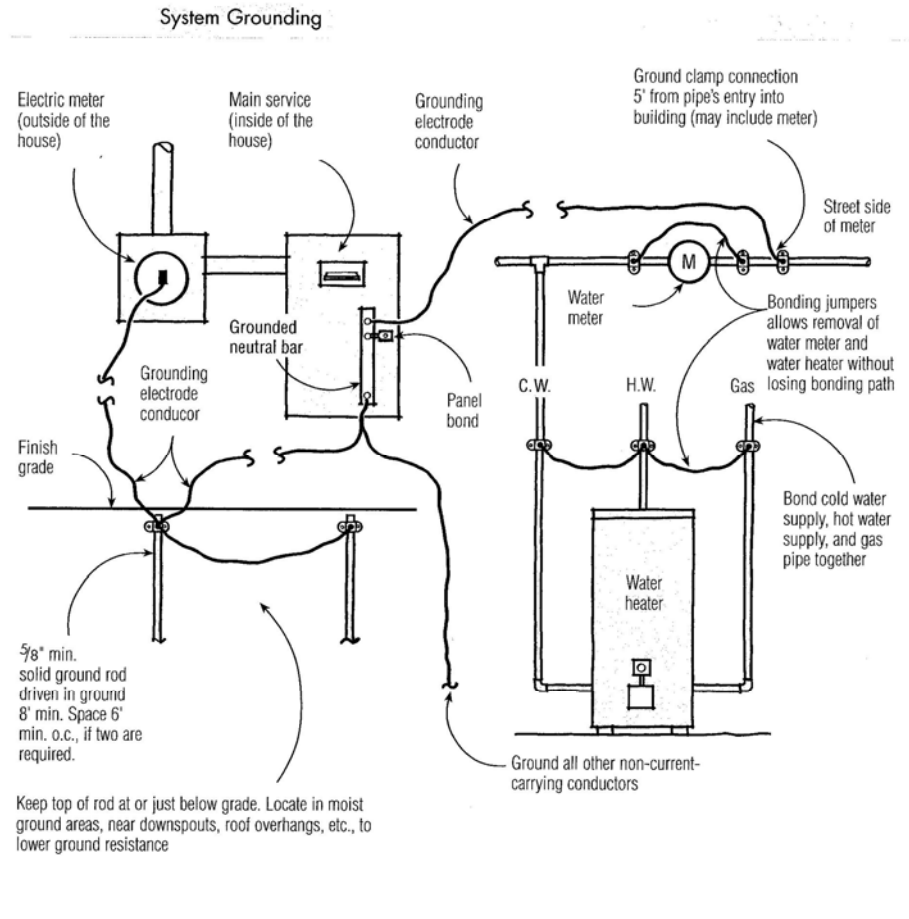
Defects

Melted cables were noted on the right side main terminal lug. See photo 79.

There was no water meter shunt wire/cable installed. The installation of a water meter shunt wire/cable is recommended/required as per the National Electrical code. See the illustration below.

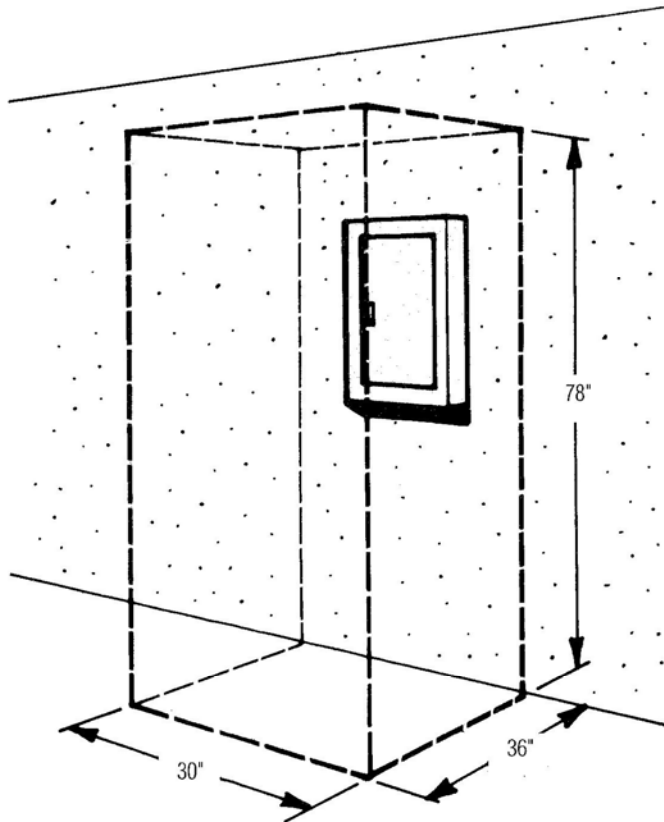


There was no bonding cable installed on the water heaters' water supply piping. Its installation is required by current electrical standards. See the illustration below.



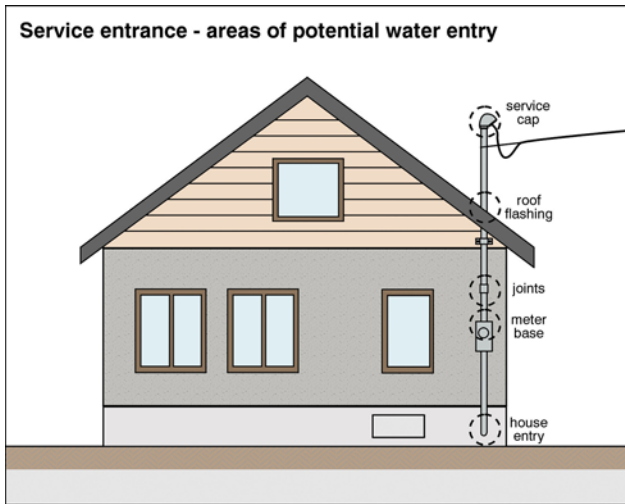
The distance on the sides and/or in front of the electrical panel box was inadequate with repairs required. Contacting a licensed electrician for cost estimates on the required repairs will be required prior to closing. Standard accepted electrical wiring practices require a clear work space with a 30-inch wide clearance required on the sides of the panel box and a 36-inch deep clearance required in front of a panel box and there must be 80-inches of height clearance in front of the breaker panel box or meter. See photos 55 and 56 and the illustration below.

Clearances at the Panel



For a 200-amp or smaller panel, code requires 3 ft. of clear space in front of the panel, 30 in. wide, and extending from the floor to a height of 6 ft. 6 in. No pipes or ducts may cross this space. In addition, the door of the panel must be able to open at least 90 degrees.

Evidence of water entry inside the panel box was noted. This may be from water entering through the meter box or the weather head. Sealing of the meter box and weather head will be required. It is also required that the circuit breakers be checked by a licensed electrician to insure their safe operational condition and to make any required repairs or replacements. A letter to this effect should be obtained from the licensed electrician prior to closing. See photo 79 and the illustration below.



This overload protection box is undersized and overloaded for the electrical power needed for this building. Replacement of the overload protection box will be required. A further evaluation by a licensed electrician will be required prior to closing.

Live, loose electrical wires were noted in the middle of the basement ceiling to the right of the archway to the laundry room. This is a serious electrical and safety concern. Their repair or removal will therefore be required for electrical safety reasons. See photo 59.

The electrical junction box located in the attic for the fan was missing a cover plate and had holes in its sides with repairs or replacement by a licensed electrician required for safety reasons. See photo 88.

Dog house, Cord Entrapped or Bubble covers are recommended to be installed on outdoor outlets to protect plugged in cords from getting wet.

Advisory Recommendations and Observations

It is recommended that a licensed electrician be contacted to make the necessary repairs and to conduct a further evaluation these defects to insure the safe operation of the electrical system.

22. APPLIANCES

The inspection of appliances is limited to the kitchen range and oven to determine the operation of the burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers, clocks and thermostats. The dishwasher is inspected to determine water supply and drainage. The garbage disposal is tested for operation and drainage. No other appliances should be considered as part of the inspection or inspection report. They may be superficially inspected as a courtesy to our client. The full operational capacity of the appliances is not tested and is beyond the scope of our inspection; therefore, it is recommended that these appliances be checked prior to closing to insure their full operational condition.

The Viking electric cook top was operational. However, the rear right burner was not operational with repairs required.

The Thermador electric wall oven was operational.

The Viking exterior ducted stove hood was operational.

The Bosch dishwasher was operational.

The Thermador refrigerator was operational.

The General Electric wine cooler was operational.

23. INTERIOR ROOMS

Walls, ceilings and floors are inspected for their general condition. Paint, wallpaper, other finish treatments and non-permanent floor coverings are not inspected. Steps, stairways and railings are inspected. Fireplaces and solid fuel appliances are inspected without testing draft characteristics. Fire screens, fireplace equipment, doors, seals, gaskets, automatic fuel feed devices, mantles, non-structural fireplace surrounds, combustion make-up air devices or gravity fed and fan assisted heat distribution systems, and the interior of flues and chimneys are not inspected. If an inspection of these areas is desired, contacting a licensed chimney sweep or professional in those areas will be required. Installed kitchen wall cabinets are inspected to determine if they are secure but they are not inspected for scratches, wear or variations of colors and shading. All fixtures/faucets are operated and inspected for functional water flow and functional drainage. The tiles in the tub and shower areas are sounded by tapping with the inspector's hand. Any indication of loose tiles or grout is reported on, however, this does not guarantee that moisture has not migrated behind the tiles and is inside the walls nor does it guarantee the future condition of the tub and shower walls. Shower floor pans are not flooded with water to determine if they leak. Any cracks in the shower floor are an indication of potential leakage and water entry under the shower floor. Without the proper maintenance, walls constructed in wet locations can deteriorate rapidly. It is prudent for the buyer to re-inspect all plumbing fixtures/faucets prior to closing to insure that problems have not developed between the time of this inspection and the closing.

BASEMENT

The sheet vinyl floor was in overall serviceable condition. However, some loose and curling pieces were noted especially at the bottom of the basement steps. Repairs will be required.

The wall finishing material was in overall serviceable condition. However, there were holes in the walls around the fireplace. Repairs are recommended to restore this item to its fully functional condition and to prevent further deterioration from occurring.

The ceiling finishing material was in overall serviceable condition.

The windows were in old but operational.

FOYER

The hardwood floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

KITCHEN

The tile floor was in overall serviceable condition with defects noted that will require correction.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The cabinets and counter tops were in overall serviceable condition.

The two sinks were in overall serviceable condition. The functional water flow and drainage for the sinks was adequate.

Ground fault circuit interrupt receptacles were installed. They were tested and found to be operational at the time of the inspection. Monthly testing of these devices is recommended to insure their operational condition.

Defects

Some loose floor tiles were noted. Future repairs will be required.

EAT IN KITCHEN AREA

The tile floor was in overall serviceable condition with defects noted that will require correction.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition with defects noted that will require correction.

The windows were in overall serviceable condition.

Defects

Some loose floor tiles were noted. Future repairs will be required.

The door screen was torn with its repair recommended.

FAMILY ROOM

The tile floor was in overall serviceable condition. The wall to wall carpeted floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The windows were in overall serviceable condition.

The masonry fireplace was in overall serviceable condition.

Advisory Recommendations and Observations

It is recommended that creosote be cleaned by a licensed chimney sweep prior to using the fireplace and thereafter depending upon use, to prevent chimney fires from occurring.

MUSIC ROOM

The hardwood floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

Advisory Recommendations and Observations

The glass in the front doors is not safety glazing. Safety glazing was required to be installed in all doors since 1966. It can be identified by a permanently etched full label installed on at least one lite of the multi-pane assemblies and the other panes in the assembly can be marked with the '16CFR1201' designation. Replacement of the glass with safety glazing is therefore strongly advised for safety reasons. It is possible to strengthen the glass in the doors and in large floor-to-ceiling windows with products such as Scotch Shield Safety Film from 3M. Applied properly, the material is durable, effective and not noticeable when properly installed. Since it is a field applied product it does not meet the consumer product safety commission (CPSC) Standard or current building standards, however, it would be better than doing nothing. Contacting your local glass company for additional information is recommended.

DINING ROOM

The hardwood floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition with defects noted that will require correction.

The windows were in overall serviceable condition.

The cabinets and counter tops were in overall serviceable condition.

The masonry fireplace was in overall serviceable condition.

Advisory Recommendations and Observations

The glass in the doors to the music room and in the cabinet doors is not safety glazing. Safety glazing was required to be installed in all doors since 1966. It can be identified by a permanently etched full label installed on at least one lite of the multi-pane assemblies and the other panes in the assembly can be marked with the '16CFR1201' designation. Replacement of the glass with safety glazing is therefore strongly advised for safety reasons. It is possible to strengthen the glass in the doors and in large floor-to-ceiling windows with products such as Scotch Shield Safety Film from 3M. Applied properly, the material is durable, effective and not noticeable when properly installed. Since it is a field applied product it does not meet the consumer product safety commission (CPSC) Standard or current building standards, however, it would be better than doing nothing. Contacting your local glass company for additional information is recommended.

MASTER BEDROOM

The hardwood floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition with defects noted that will require correction.

The windows were in overall serviceable condition.

The paddle fan installed in the ceiling was operational. However, the bracketing for the paddle fan was not visible and therefore it was not inspected. A further inspection of the paddle fan for correct mechanical fastening, by a licensed electrician, is recommended for safety reasons.

Defects

The entrance door was rubbing on the floor preventing it from operating properly. Trimming of the door will be required for proper operation.

MASTER BEDROOM SITTING ROOM

The hardwood floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

The windows were in overall serviceable condition.

The paddle fan installed in the ceiling was operational. However, the bracketing for the paddle fan was not visible and therefore it was not inspected. A further inspection of the paddle fan for correct mechanical fastening, by a licensed electrician, is recommended for safety reasons.

FRONT LEFT BEDROOM

The plastic laminate floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

The windows were in overall serviceable condition.

The paddle fan installed in the ceiling was operational. However, the bracketing for the paddle fan was not visible and therefore it was not inspected. A further inspection of the paddle fan for correct mechanical fastening, by a licensed electrician, is recommended for safety reasons.

FRONT MIDDLE BEDROOM

The wall to wall carpeted floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

The windows were in overall serviceable condition.

POWDER ROOM

The tile floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

The windows were in overall serviceable condition.

The sink was in overall serviceable condition. The functional water flow and drainage for the sink were adequate.

The toilet was in overall serviceable condition. The functional water flow and drainage for the toilet were adequate.

Ground fault circuit interrupt receptacles were installed. They were tested and found to be operational at the time of the inspection. Monthly testing of these devices is recommended to insure their operational condition.

REAR SECOND FLOOR HALL BATHROOM

The tile floor was in overall serviceable condition.

The wall finishing material was in overall serviceable condition.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition.

The windows were in overall serviceable condition.

The sink was in overall serviceable condition. The functional water flow and drainage for the sink were adequate.

The toilet was in overall serviceable condition. The functional water flow and drainage for the toilet were adequate.

The bathtub was in overall serviceable condition. The functional water flow and drainage for the bathtub were adequate.

Ground fault circuit interrupt receptacles were installed. They were tested and found to be operational at the time of the inspection. Monthly testing of these devices is recommended to insure their operational condition.

Advisory Recommendations and Observations

The entrance door was sticking with adjustments to the door required for proper operation.

MASTER BEDROOM BATHROOM

The tile floor was in overall serviceable condition with defects noted that will require correction.

The wall finishing material was in overall serviceable condition with defects noted that will require correction.

The ceiling finishing material was in overall serviceable condition.

The doors were in overall serviceable condition with defects noted that will require correction.

The windows were in overall serviceable condition.

The two sinks were in overall serviceable condition. The functional water flow and drainage for the sinks was adequate.

The toilet was in overall serviceable condition with defects noted that will require correction. The functional water flow and drainage for the toilet were adequate.

The shower was in overall serviceable condition. The functional water flow and drainage for the shower were adequate.

Ground fault circuit interrupt receptacles were installed. They were tested and found to be operational at the time of the inspection. Monthly testing of these devices is recommended to insure their operational condition.

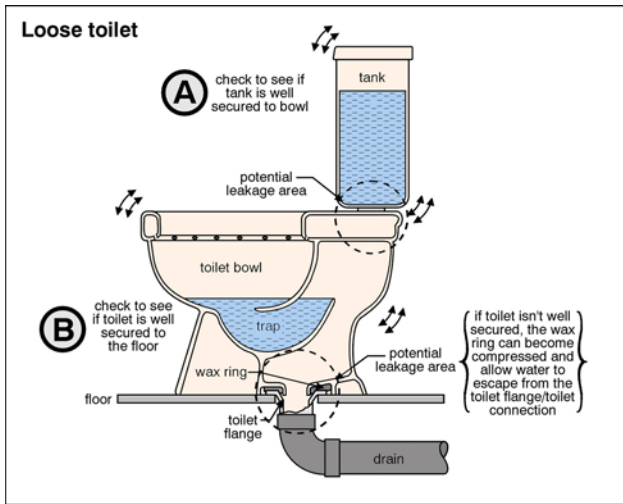
The vent fan was in overall serviceable condition.

Defects

Nine cracked floor tiles were noted with their replacement recommended/required. A further inspection by a tile contractor is recommended prior to closing to evaluate this condition and to give cost estimates for the required repairs or replacement.

The toilet room entrance door was sticking with adjustments to the door required for proper operation.

The toilet was loose from the floor. This problem could be as simple as tightening the toilet bolts or replacing the wax seal or it could be a rotted floor below the toilet. A further inspection and repairs by a licensed plumber will be required to prevent leaks from occurring. See the illustration below.



ATTIC

The attic was entered and fully inspected from end to end.

The 2 inch by 6 inch rafters were spaced 25 inches on center and were in overall serviceable condition. The 2 inch by 8 inch rafters were spaced 16 inches on center and were in overall serviceable condition.

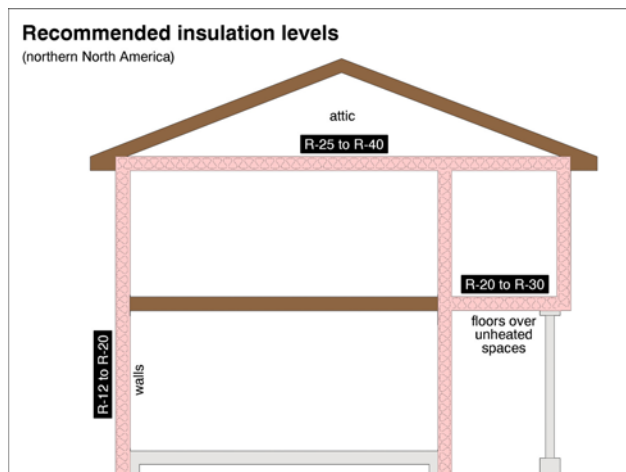
VENTILATION

Minimal attic ventilation was noted. Installing or adding soffit vents can improve this condition. The improved ventilation will release moisture and lower the temperature in the attic which will prolong the life of the roofing material, help to prevent ice damming from occurring, help to prevent the roof sheathing and rafters from molding or rotting, and help to prevent thermal stress cracking of fiberglass roofing material from occurring. The opening for the TCVF was blocked with tar paper. Removal of the tar paper will be required. See photo 92.

INSULATION

There was 6.5 inches of fiberglass insulation visible in the attic area at the time of the inspection.

The installation of an additional 6-inches to 8-inches of unfaced fiberglass insulation is recommended to reduce energy consumption and help to attain an R-30 rating in the attic area. See the illustration below.



A vapor barrier was installed between the ceiling and the insulation material where it was lifted up and spot checked.

24. SMOKE DETECTORS

The smoke detectors and carbon monoxide detectors were not inspected. Smoke detectors and carbon monoxide detectors are required to be installed in all buildings in the State of New Jersey and are required to be inspected by local municipal governments prior to closing. We recommend that you have both types of detectors or a combination type of detector installed in the appropriate locations for safety reasons. It is important to remember to change the batteries annually. The sellers should provide you with a smoke detector and carbon monoxide detector certification or certificate of occupancy (CO) should be provided to you at closing.

25. ENVIRONMENTAL

Environmental tests are specific, in-depth inspections that must be conducted by licensed people in these fields. These tests are not covered under the NJ Home Inspectors licensing law N.J.A.C. 13;40-15:16 or under the ASHI Standards for conducting a home inspection. DICO assumes no liability for tests conducted by independent contractors or independent testing companies, even if the independent contractor or testing company may have been referred by DICO.

ASBESTOS

A material, which is a presumed asbestos containing material, was found on old steam heating pipes in the basement ceiling (see photos 58, 84 and 85) and on the floor of the foyer closet (see photo 87). Other locations as well as other asbestos containing materials may also be in the building and may not be visible to the inspector. A further inspection by a licensed asbestos abatement contractor is therefore recommended.

OIL TANK

The property was not inspected for the presence of an above or below ground fuel oil or petroleum distillate storage tank. This type of inspection is beyond the scope of a home inspection and must be conducted by a licensed professional in that field. Contacting a local fuel oil tank testing company prior to closing is therefore recommended.

Because the original home was heated with steam, there is a strong probability that the steam boiler was fueled with oil.

LEAD PAINT

Many buildings, which were painted before 1978, have been painted with lead based paints. A further evaluation of the paint, and care in scraping, sanding and/or stripping of painted surfaces is recommended. It is strongly advised that testing for the presence of lead be conducted. Obtaining additional information, from local government agencies, regarding lead paint is additionally recommended. The following link is for 'The Lead Safe Certified Guide to RENOVATE RIGHT', the EPA's new lead guidelines effective October 2010.

<http://www.epa.gov/lead/pubs/renovaterightbrochure.pdf>

MOLD

An inspection for mold was not conducted and can only be conducted by persons qualified to do so, however, the following conditions were noted: **Mold/fungi was found on the paneling at the bottom of the basement steps.** Mold/fungi develop when there is an excessive moisture condition in a building. Not only can mold/fungi cause decay in a building, it can also produce severe allergic conditions in humans. Some reported cases have made buildings uninhabitable. Although we are reporting on a condition that is visible, mold/fungi growth could be hidden within the walls of the building. We do not test for mold/fungi nor do we report on the indoor air quality. It is therefore recommended that a qualified environmental specialist or an industrial hygienist be contacted immediately to further evaluate the building and to determine how this condition can be corrected and if there are any health related implications associated with our finding.

One species of mold, *Stachybotrys chartarum* (also known by its synonym *Stachybotrys atre*), is particularly dangerous. According to the National Center for Environmental Health, '*Stachybotrys chartarum* is a greenish-black mold. It can grow on material with a high cellulose and low nitrogen content, such as fiberboard, gypsum board, paper, dust and even lint. Growth occurs when there is moisture from water damage, excessive humidity, water leaks, condensation, water infiltration or flooding. Constant moisture is required for its growth. It is not necessary, however, to determine what type of mold you may have. All molds should be treated the same with respect to potential health risks and removal.'

Stachybotrys chartarum may cause fever, nasal stuffiness or eye irritation when individuals are exposed. This is one of the 'black molds' that are now feared by homeowners and there are other types of common molds indoors as well.

The EPA suggests that if mold spores encounter water sources, there is a potential for growth, either inside of homes, in crawlspaces or basements. EPA further suggests that mold remediation may be completed using bleach water (one cup of bleach per gallon). While this will kill active mold growth, it will not control mold spores in the air. Air sampling can reveal if there are dangerous mold spores in the air. There is even a home test kit currently available at hardware stores.

Moisture can lead to further reproduction of the dangerous molds. Corrections to any moisture conditions in the building will therefore be required in order to prevent the growth and spread of mold.

The New Jersey Health Department of Health and Senior Services Consumer and Environmental Health Services / Indoor Environments Program manages mold problems in the state of New Jersey. They also have a list of mold inspection and mold remediation companies that work in New Jersey. They can be contacted by phone at 609-631-6749 or by email joe.eldridge@doh.state.nj.us. The website address is www.state.nj.us/health/eoh/tsrp. Additional information on mold can be found using at following links: American Industrial Hygiene Association - www.aiha.org; Center for Disease Control - www.cdc.gov/mold; Environmental Protection Agency - <http://www.epa.gov/mold/moldresources.html>.

This property was not inspected for the presence or absence of health related molds or fungi. DICO Building Inspection Service, Inc. is neither qualified nor licensed to inspect for health related molds or fungi. If you would like more information about health related molds or if you desire an inspection for the presence or absence of health related molds, contacting an environmental specialist or an industrial hygienist, to conduct such an inspection, would be required. For more information you can call the EPA Indoor Air Quality Information Clearing House at 800-438-4318.

26. RADON

A test for radon gas was performed on Date and started at Time. A continuous radon gas monitor was utilized for this test. Computer # CRM5105189 was located in the basement / level 0. This test will run for approximately forty-eight hours. Results of the findings will be sent as an addendum to this report. For further information about radon and radon testing, contact our office at 973-857-4220 or the State Radon Office at 800-648-0394.

Radon is a naturally occurring radioactive gas. It results from the radioactive decay process of natural uranium in the soil, and is found in rocks and soil everywhere in varying concentrations.

While radon disperses quickly in the outdoor environment, it can accumulate in enclosed spaces, and can be an unwelcome part of our home environment. Long-term exposure to radon has been linked to increased risk of lung cancer. The greater the concentration and the longer the exposure, the greater the risk of lung cancer. Since radon is invisible and odorless, the only way to detect the presence of radon is with a specialized test.

The New Jersey Department of Environmental Protection (NJDEP) recommends that all homeowners test their homes for radon, and consider mitigating (fixing) their homes if tests reveal elevated levels. Even in areas that generally have low radon potential, elevated levels of radon have been found in some homes.

Radon concentration is affected by many factors including: the concentration of uranium in the soil beneath the home; the ease with which radon moves through the soil; and the number and size of openings into the home (such as cracks in the flooring, openings around pipes and sump pits).

In addition, slight differences between indoor and outdoor air pressure will affect the rate at which radon enters the home. Reduced indoor pressure draws radon gas in greater amounts from underlying soil into the house. Since warm air rises, and air in a house is often warmer than the outside air, this 'stack effect' causes lower indoor air pressure. Lower indoor air pressure also results from use of kitchen or attic exhaust fans; venting of air by furnaces, clothes dryers and other appliances; and opening the downwind windows in a home. Lower indoor air pressure increases radon concentrations. Another means of entrance for radon gas is from water supplies, when radon escapes from water during showering, cooking, etc.

All these factors vary greatly from home to home, and the lifestyle of a particular family can affect these factors as well (for example, how much the family uses vented appliances and heating systems). As a result, one home may have a high level of radon while the home next door may have a low level.

The higher the level of radon gas in a home, the greater the amount that is inhaled. As radon goes through the radioactive decay process, it produces other radioactive materials in the form of solids. These decay products can attach to particles in the air, such as dust or cigarette smoke, which can become trapped in the lungs. The decay products continue to emit a type of radiation that has the potential to damage lung cells and possibly start the formation of cancer. The risk of lung cancer from radon is much greater for smokers than non-smokers.

Lung cancer is the only known health effect from radon exposure. The National Academy of Sciences estimates that between 15,000 and 22,000 deaths from lung cancer are caused by radon each year in the United States. Radon is the second leading cause of lung cancer after smoking.

DICO Building Inspection Service, Inc. uses continuous radon monitors (CRMs) and charcoal canisters to test for the presence of radon. The minimum testing time is two days (48 hours). Please refer to the handout 'Radon Testing and Mitigation: The Basics' for additional information on conducting the test and interpreting the results.

27. NOTES

Repairs to all defects listed under the defects sections will be required. Obtaining cost estimates for all repairs is also recommended prior to closing.

DICO Building Inspection Service, Inc. assures the buyer that every reasonable effort was made to ascertain the present condition of the building through a visual inspection. This inspection is the oral and written professional opinion of those conditions which existed at the time of the inspection. We do not, under any circumstances, make any representation, guarantee or warranty as to the reported condition or to the property's future condition. The purchaser should re-inspect the property and all mechanical systems, before closing, with this report in hand. Recommended replacements, repairs, and investigations should be performed prior to closing, or as advised by your attorney. If the buyer is unable to properly re-inspect the property and its mechanical systems, he/she should consult the proper professional in order to ascertain the conditions of all items at the time of the final walk through.

INSPECTOR'S CERTIFICATION



**WILLY C. DITTMAR
INSPECTOR
NJ LICENSE NJ #24GI00027100**

**DATE INSPECTED: 09-30-2010
WCD/baa**